

1. Planning And Zoning Regular Meeting - Agenda

Documents:

[2019_10_01_PZ_RG_AG.PDF](#)

2. Planning And Zoning Commission Regular Meeting Packet

Documents:

[2019_10_01_PZ_RG_AG_PK.PDF](#)



Town of Chino Valley

MEETING NOTICE PLANNING AND ZONING COMMISSION

**REGULAR MEETING
TUESDAY, OCTOBER 1, 2019
6:00 P.M.**

**Council Chambers
202 N. State Route 89
Chino Valley, Arizona**

AGENDA

- 1. CALL TO ORDER**
- 2. PLEDGE OF ALLEGIANCE**
- 3. ROLL CALL**
- 4. MINUTES**
 - a.** Consideration and possible action to approve September 3, 2019, regular meeting minutes.
- 5. STAFF REPORTS**
- 6. PUBLIC HEARING**
 - a.** Consideration and possible action to rezone approximately 6.85 acres of real property from the MR-1 (Multi-Family Residential 1-acre minimum) zoning district to the MR-1 PAD (Multi-Family Residential 1-acre minimum) zoning district with a Planned Area Development Overlay. The project proposes 152 units in four (4) stepped 2 to 3 story structures. The property is generally located 1,400 feet west of State Route 89 and 620 feet south with Assessor Parcel Number: 306-23-024C. (Alex Lerma, Planner)
- 7. NON-PUBLIC HEARING ACTION ITEMS**
- 8. DISCUSSION ITEMS**

9. PUBLIC COMMENTS

Call to the Public is an opportunity for the public to address the Commission on any issue within the jurisdiction of the Commission that is not on the agenda. Public comment is encouraged. Individuals are limited to speak for three (3) minutes. The total time for Call to the Public may be up to 30 minutes per meeting. Commission action taken as a result of public comment will be limited to directing staff to study the matter, scheduling the matter for further consideration and decision at a later date, or responding to criticism.

10. ADJOURN

Dated this 25th day of September, 2019.

By: *Alex Lerma, Planner*

A copy of the agenda and background material provided to the Commissioners is available for public inspection at the Marion Lassa/Chino Valley Library, 1020 W. Palomino Road, Chino Valley, Arizona. Further details may be obtained by contacting Development Services Department at 1982 Voss, Chino Valley, Arizona (928) 636-4427.

The Town endeavors to make all public meetings accessible to persons with disabilities. With 72 hours advance notice, special assistance can also be provided for sight and/or hearing impaired persons at public meetings. Please call 636-2646 (voice) or use 711 (Telecommunications Arizona Relay Service) to request an accommodation to participate in this meeting.



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Planning and Zoning Commission Regular

4. a.

Meeting Date: 10/01/2019

September 3, 2019 Minutes

CASE DESCRIPTION:

Consideration and possible action to approve September 3, 2019, regular meeting minutes.

ANALYSIS:

RECOMMENDATION

Approve September 3, 2019, regular meeting minutes.

Attachments

September 3, 2019 Minutes

DRAFT

MINUTES OF THE REGULAR PLANNING AND ZONING MEETING OF THE TOWN OF CHINO VALLEY

SEPTEMBER 3, 2019
6:00 P.M.

The Planning and Zoning Commission of the Town of Chino Valley met for a regular meeting in the Chino Valley Council Chambers, located at 202 N. State Route 89, Chino Valley, Arizona.

1) CALL TO ORDER

Chair Chuck Merritt called the meeting to order at 6:00 p.m.

2) PLEDGE OF ALLEGIANCE

Commissioner McCafferty led the Pledge of Allegiance.

3) ROLL CALL

Present: Chair Chuck Merritt; Commissioner Gary Pasciak; Vice-Chair Tom Armstrong;
Commissioner John McCafferty; Commissioner Teena Meadors; Commissioner
William Welker

Absent: Commissioner Robert Switzer

Staff Development Services Director Joshua Cook; Planner Alex Lerma; Public Works

Present: Director/Town Engineer Frank Marbury; Administrative Technician-videographer Kathy
Frohock; Deputy Town Clerk-recorder Vickie Nipper

4) MINUTES

- a)** Consideration and possible action to approve August 6, 2019, regular meeting minutes.

MOVED by Commissioner Gary Pasciak, seconded by Commissioner John McCafferty to
approve the August 6, 2019 minutes.

AYE: Chair Chuck Merritt, Commissioner Gary Pasciak, Vice-Chair Tom Armstrong,
Commissioner John McCafferty, Commissioner Teena Meadors, Commissioner William
Welker

6 - 0 PASSED - Unanimously

5) STAFF REPORTS

6) PUBLIC HEARING

- a) Consideration and possible action to rezone approximately 6.85 acres of real property from the MR-1 (Multi-Family Residential 1-acre minimum) zoning district to the MR-1 PAD (Multi-Family Residential 1-acre minimum) zoning district with a Planned Area Development Overlay. The project proposes 152 units in four (4) stepped 2 to 3 story structures. The property is generally located 1,400 feet west of State Route 89 and 620 feet south with Assessor Parcel Number: 306-23-024C. (Alex Lerma, Planner)

Recommended Action: Continue item to the October 1, 2019, Planning and Zoning Meeting due to posting notice error.

Chair Merritt reported that Staff had recommended that the Item 6a be continued to the October 1, 2019, meeting due to a posting notice error.

MOVED by Commissioner John McCafferty, seconded by Commissioner Teena Meadors to continue item 6a to the October 1, 2019, Planning and Zoning Meeting due to posting notice error.

AYE: Chair Chuck Merritt, Commissioner Gary Pasciak, Vice-Chair Tom Armstrong,
Commissioner John McCafferty, Commissioner Teena Meadors, Commissioner William Welker

6 - 0 PASSED - Unanimously

- b) Consideration and possible action to rezone approximately 2.05 acres of real property from the AR-5 (Agricultural Residential 1-Acre Minimum) zoning district to the SR-1 (Single Family Residential 1-Acre Minimum) zoning district. The property is located 460 feet east of the northeast corner of West Center Street and Sycamore Vista Drive at 1370 West Center Street, Assessor's Parcel Number 306-21-010T. (Alex Lerma, Planner)

Mr. Lerma presented the following:

- The property improvements included the main family residence, a guest home and accessory structures.
- The surrounding area consisted of medium to low density residential.
- The property was approximately 2-acres and was zoned Agricultural Residential 5-acre minimum.
- The General Plan designation for the property was medium density residential.
- The property was considered a non-conforming lot because it had been subdivided in the past without the zoning classification being changed.
- The applicant was seeking a zone change to give the correct zoning district to the property and the SR-1 was the closest zoning district to support the current property use.
- The neighborhood meeting held August 7, 2019, had no attendees.
- Staff supported the zone change after review and analysis of the application.
- The applicants had future plans of subdividing the property, and each residence would be on a new piece of property.
- The current home and guest home were hooked up to septic.
- Public Works Director Marbury explained that the property was along Center Street, which was an arterial, and it was recommended that a rezone stipulation should require an additional 25-foot right-of-way along Center Street to meet current code requirements of a 50-foot half width right-of-way. It was currently only at 25-feet.
- Staff recommends that Planning and Zoning Commission forward a recommendation of approval to Town Council to adopt Ordinance 2019-872 to rezone approximately 2.05 acres of real property from AR-5 (Agricultural Residential-5 Acre Minimum) zoning

district to (SR-1) Single Family Residential-1 Acre Minimum zoning district with the following stipulations:

- Any new construction shall be required to hook up to Town sewer.
- Any modification or expansion to existing buildings that would require the replacement of a septic tank must hook up to Town sewer.
- Applicant shall provide an additional 25' of Right-of-Way along Center Street.

Commissioners and staff discussed the following:

- The Town sewer lines were already on Center Street, and since the property abutted Center Street, the connection would be lateral. If the property were split east to west and created a public right-of-way access easement, an extension may be required. The cost of the Town sewer connection would need to be determined by Town Council, but it may be a cost incurred by the property owner. Staff explained that utilities were an expense but that the Council passed a resolution to not require existing properties to hook up to mandatory connections if the property had a functioning septic system. Staff was unsure if an existing property with a septic system would be required to hook into the Town sewer system if their septic system were to fail.
- Staff explained that the condition of requiring hook up to Town sewer if the existing home were modified or expanded was based on the County requirements which required a new septic tank if the expansion or construction of an existing building required a larger septic tank or construction required moving the existing tank.
- Commissioners requested clarification on the third condition which required an additional 25' of right-of-way along Center Street. Staff typed the condition wording for Commissioners because it was not provided on their handout. Commissioners reviewed the condition language again.
- The 25' right-of-way requirement would most likely affect an existing fence on the subject property. Staff explained there could be a removeable permit for the fence that allowed it to remain until such time that the Town expanded the road and needed to relocate the fence. At that time the property owners would need to move the fence. Commissioners favored the fence permit and wanted to ensure it was properly noted in the conditions or through the minutes.

Open to the Public – Public Comments:

- Mary Turner – Was wondering how a property that was zoned Agricultural-5-acre minimum could only be 2.5 acres. The Commission explained the rezone was an attempt to clear up an error made in the past.

MOVED by Vice-Chair Tom Armstrong, seconded by Commissioner John McCafferty to forward a recommendation of approval to Town Council to adopt Ordinance 2019-872 to rezone approximately 2.05 acres of real property from AR-5 (Agricultural Residential-5 Acre Minimum) zoning district to (SR-1) Single Family Residential-1 Acre Minimum zoning district with the following stipulations:

1. Any new construction shall be required to hook up to Town sewer.
2. Any modification or expansion to existing buildings that would require the replacement of a septic tank must hook up to Town sewer.
3. Applicant shall provide an additional 25' of Right of Way along Center Street.

Commissioners wanted to ensure it was properly noted by staff and the Council was made aware of the removable fence permit.

AYE: Chair Chuck Merritt, Commissioner Gary Pasciak, Vice-Chair Tom Armstrong,
Commissioner John McCafferty, Commissioner Teena Meadors, Commissioner William
Welker

6 - 0 PASSED - Unanimously

7) NON-PUBLIC HEARING ACTION ITEMS

8) DISCUSSION ITEMS

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10) ADJOURN

MOVED by Commissioner John McCafferty, seconded by Commissioner Gary Pasciak to adjourn the meeting at 6:23 p.m.

AYE: Chair Chuck Merritt, Commissioner Gary Pasciak, Vice-Chair Tom Armstrong,
Commissioner John McCafferty, Commissioner Teena Meadors, Commissioner William
Welker

6 - 0 PASSED - Unanimously

Chair Charles Merritt

Date

Planning and Zoning Commission Regular

6. a.

Meeting Date: 10/01/2019

Brook Apartment MR-1 PAD Overlay

CASE DESCRIPTION:

Consideration and possible action to rezone approximately 6.85 acres of real property from the MR-1 (Multi-Family Residential 1-acre minimum) zoning district to the MR-1 PAD (Multi-Family Residential 1-acre minimum) zoning district with a Planned Area Development Overlay. The project proposes 152 units in four (4) stepped 2 to 3 story structures. The property is generally located 1,400 feet west of State Route 89 and 620 feet south with Assessor Parcel Number: 306-23-024C. (Alex Lerma, Planner)

LOCATION:

The property is generally located 1,400 feet west of State Route 89 and 620 feet south with APN: 306-23-024C.

FACTS:

1. Applicant: Chris Fergis
2. Owner: Book Assisted Living LLC
3. Parcel Number: 306-23-024C
4. Site Area: 6.85 acres
5. Existing zoning: MR-1
6. Intended Use: Mulit- Family Residential

ANALYSIS:

See attached Staff Report

SITE PLAN

See attached Site Plan

RECOMMENDATION

Staff recommends that Planning and Zoning Commission forward a recommendation of approval to Town Council to adopt Ordinance 2019-873 rezoning approximately 6.85 acres of real property from the MR-1 (Multi-Family Residential - 1 acre minimum) zoning district to the MR-1 PAD (Multi-Family Residential - 1 acre minimum) zoning district with a Planned Area Development Overlay with its associated development plan with the following conditions:

1. The project shall substantially conform to the site plan, landscaping plan, conceptual building elevations and other exhibits provided by the applicant, as modified by staff's recommended conditions.
2. Developer shall provide a 6' high CMU block wall along the south property line and a 6' chain link fence with 16"x16" block pilasters every 40' along the west property line.

3. Depths of flows over onsite and offsite streets shall not exceed one (1) foot to allow passage of emergency vehicles. The standard applies to both public and private streets.
4. All drainage ways that convey 50 cubic feet per second or more, during the 100-year flood event, shall be considered a regulatory flood and shall be dedicated to the public with provisions for maintenance access ramps. Flows less than 50 cubic feet per second shall be regulated for impacts to buildings and structures, particularly, the placement of the finished first floor or basement, and shall be designated a common area or noted on the final plat as impacting a lot and the lot owner's responsibility for maintenance. Any drainage ways dedicated to the Town shall be constructed to provide minimal need for maintenance (paved or storm drain pipe) unless the property owner accepts landscape maintenance of the tract.
5. Five foot (5') concrete pedestrian sidewalks (onsite and offsite) shall be required.
6. Hawks Nest Trail shall be constructed to commercial standards (28' roadway width, concrete curb and gutter, and five foot (5') concrete sidewalk on both sides with associated ramps and other devices). Final design to be approved by the Town Engineer.
7. Intersection improvements at Road 2 North in accordance with the revised traffic study shall be required. Final design to be approved by the Town Engineer.
8. Water and sewer mains on Road 2 North shall be 12" diameter. The Town would be open to cost sharing for the up-sizing of the pipelines, pending Council approval.

Attachments

Brook Apartment Staff Report
Brook Apartment Exhibit Packet



TOWN OF CHINO VALLEY PLANNING AND ZONING COMMISSION Staff Report October 1, 2019

APPLICATION SUMMARY

File Number: Z19-000008

Assessor's Parcel Number: 306-23-024C

Site Location: Located approximately 1,400 feet west of State Route 89 and 620 feet south of West Road 2 North with APN: 306-23-024C.

Owners of Record: Brook Assisted Living LLC

Applicant: Chris Fergis

Request: Request to rezone approximately 6.85 acres of real property from the MR-1 (Multi-Family Residential - 1 acre minimum) zoning district to MR-1 PAD (Multi-Family Residential - 1 acre minimum) zoning district with a Planned Area Development Overlay and its associated development plan. The project proposes 152 units in four (4) 2- to 3-story stepped structures.

SITE DATA

Existing Zoning	MR-1 (Multiple Family Residential - 1 acre Minimum)
Lot Size	6.85 acres (296,208 sq. ft.)
Subdivision	N/A
General Plan Land Use Designation	Medium Density Residential (2 ac or less) and Potential Community Cores
Existing Land Use	Vacant

AREA	ZONING	GENERAL PLAN LAND USE DESIGNATION	LAND USE
North	AR-5, CL	Potential Community Core and Medium Density Residential (2 ac or less)	Single Family Residence, Heritage Place
East	CL/ AR-5	Potential Community Core and Commercial/ Multi- Family Residential	Vacant
South	SR-1	Medium Density Residential (2 ac or less)	Chino Grove Subdivision
West	SR-1, AR-5, CL	Medium Density Residential (2 ac or less)	Single Family Residence, Vacant

BACKGROUND

SITE DESCRIPTION

The subject property does not front on Road 2 North. It is located approximately 1,400 feet west of State Route 89 and 620 feet south of West Road 2 North. Access to the 6.85-acre site is via Hawks Nest Trail, a future roadway platted by the Heritage Place commercial subdivision. This proposed roadway will extend south from West Road 2 North and will terminate at the north boundary of the subject property. Hawks Nest Trail was dedicated to the Town of Chino Valley in November of 2007 as part of the plat approval for Heritage Place subdivision. However, it has not improved by the property owner.

The site has a zoning classification of MR-1 (Multi-Family Residential - 1 acre Minimum) and is located in the Major Community Core/ Downtown Core of the Town of Chino Valley's General Plan Potential Land Use Map. The site is currently vacant. **(See Attachment 1: Vicinity Map)**

The area is predominantly medium/low density single-family residential development with commercial properties to the north. The properties to the north are zoned AR-5 (Agricultural Residential - 5 Acre Minimum) and CL (Commercial Light) with a single-family residence and Heritage Place Subdivision. The property to the east is zoned CL/AR-5 (Commercial Light/ Agricultural Residential- 5 Acre Minimum), with vacant land. The southern properties are zoned SR-1, with Chino Grove Subdivision. Properties to the west are zoned SR-1 (Single Family Residential – 1-Acre Minimum, AR-5 (Agricultural Residential- 5 Acre Minimum) and CL (Commercial Light) with single-family residence and vacant land. **(See Attachment 2: Zoning Map)**

PROJECT HISTORY

On August 10, 2006, through Ordinance 06-668, Council approved the applicant's request to rezone the property, which at the time was identified with APN: 306-24-024A, from AR-5 (Agricultural Residential - 5 Acre Minimum) zoning district to MR-1 (Multi-Family Residential - 1 Acre Minimum) zoning district and SR-2 (Single Family Residential - 2 Acre Minimum) zoning district. Subsequently in November 22, 2006, the property subdivided to separate the blended zoning on the property and APN: 306-23-024C became APN: 306-23-024B and APN 306-23-024C, respectively.

In late 2017, Staff received an application requesting to rezone the property from MR-1 (Multi-Family Residential - 1 acre Minimum) to MR-1 PAD (Multi-Family Residential - 1 acre Minimum) with a Planned

Area Development Overlay and its associated development plan. The intent of the PAD overlay was to increase the allowed density from approximately 99 units to 192 units. No other deviations to the code were proposed. On July 3, 2017, staff recommended approval, while the Planning and Zoning Commission forwarded a recommendation of denial to the Town Council for the applicant's request. The applicant subsequently withdrew the application prior to any council action.

PROJECT DESCRIPTION

The applicant is requesting to rezone approximately 6.85 acres of real property from the MR-1 (Multi-Family Residential - 1 acre minimum) zoning district to the MR-1 PAD (Multi-Family Residential - 1 acre minimum) zoning district with a Planned Area Development Overlay and its associated development plan. The project is proposing 152 units in four (4) structures. Each building is comprised of 38 units in 2 to 3 story stepped structures. The unit mix includes 30 one-, two-bedrooms units as well as eight (8) three-, and four-bedroom units.

The structures are centered on the property, ringed by both the required parking and landscaped greenbelt to serve to further seclude the project from adjoining properties. There is also a proposed active open space perimeter include a meandering multi-use path that connects to a series of Vida-station exercise stations located between buildings 3 and 4; gazebos with barbeque pits and seating serve as onsite amenities that will be provided for residents and guests. **(See attachment 4: Site Plan)**

The permitted density in the MR-1 zoning district is 1 dwelling unit per 3,000 square feet of lot area, or 14.5 units per acre. Currently the 6.85 acres would allow for 99.3 units. The project proposes 152 units, or 22 units per acre, an increase of 7.5 units per acre. With relief from the density allowed by the zoning regulations, the request will be offset by increased setbacks, increased landscaping, parking turned away from the southern property boundary. The developer is exceeding all of the zoning development standards.

Setbacks

The minimum front yard setback is 20' from the property line. While the northeast corner of Building 1 meets this regulation, the angle of the building is such that the northwest corner of the building is separated from the property line by 115', for an average setback of 67.5', just over 3 times the requirement for the zoning district.

The side setbacks also greatly exceed the requirement set forth in Section 3.13 of the UDO. Building 1 is 44.5' away from the property line at its closest point, which is nearly 4½ times the minimum 10' required. Buildings 2, 3, and 4 are set back from 92' to 98' from the west property line – far in excess of the minimum requirement. The east setbacks vary from 168' for Building 1 to greater than 100' for the remaining three (3) buildings. To further seclude the project from the single family residences to the south, an 84' setback has been employed; it exceeds the minimum required separation by nearly 4.5 times the required distance.

Parking

Per Section 4.22.5 of the UDO, 244 stalls are required to meet the needs of the tenants, based on the current per-unit bedroom mix. An additional 16 stalls are needed to accommodate guest parking, for a total of 260 parking stalls. The project provides an additional 27 stalls for a total of 287 parking stalls, exceeding the requirement set forth in the UDO by 10%.

Landscaping

The developer is also proposing to double the landscaping required by Section 4.26 of the UDO, both in number and variety, by installing over 950 different plantings in 26 varieties of trees, shrubs and other

vegetation. All disturbed areas will be rocked with 3/4" decorative material over landscaping cloth, to a depth of 2".

With respect to trees, the UDO calls for one (1) tree for each 20 lineal feet to be planted for a landscape buffer. In this instance, 144 trees would be required –with no requirement for variation in species. This project provides nearly twice that amount –233 trees of four (4) different varieties- in addition to the preserved existing trees.

Similarly, the project far exceeds the number of shrubs and other required plantings. Section 4.26 requires four (4) shrubs in each 400 square feet of landscape buffer area, with no requirement for different species. For this project, 114 shrubs would be required. The Landscaping Plan would provide over 740 different plantings –more than five (5) times the number required. In addition, 24 different varieties of vegetation are included to enhance the visual appearance of the project. **(See attached 5: Landscaping Plan)**

Additional Comments

Besides landscaping requirements, the Unified Development Ordinance does not require any other features as buffers between Multi-Family residential projects and single-family residential areas. However, to provide additional privacy for the tenants and existing residents alike, the developer is proposing to provide privacy and visual separation from adjacent single-family uses. The developer has proposed a 6' CMU (Concrete Masonry Units) block wall on the south property line, and a 6' chain link fence with 16"x16" block pilasters every 40' along the west property line. Both proposed fences meet adopted zoning regulations.

The proposed buildings vary in height with the centers at three (3) stories, stepping down to two (2) stories at each end. This provides architectural interest and visual privacy for tenants and surrounding properties alike. **(See attachment 6: Building Elevations)**

CITIZENS REVIEW & PUBLIC HEARING PROCESS

Town Staff notified property owners within a 300-foot radius, resulting in seventeen (17) notices for public notification. The neighborhood meeting was held at the recreational center on August 26, 2019. Approximately twenty-one (21) people attendance the meeting.

Residence inquired about the design of the buildings. The applicant responded that the buildings will not have any balconies and all stairwells and corridors would be enclosed providing a quieter environment. Residents asked if dogs would be allowed and if there would be a limit on the amount of pet per unit. The applicant responded that dogs would be allowed and that there would not be a limit of animals at this point, he noted that the property management would establish those regulations.

Some of the residents mentioned that the project previously received a lot of opposition from adjoining neighbors and wanted to know why the applicant was asking for a higher density. The applicant stated that by requesting a higher density they were also doubling the amount of landscaping required, locating the building as far as possible for the property lines and locating a block wall and a chain link fence. Residents also inquired about the amount of 3-bedroom and 4-bedroom units. The applicant responded that there would be sixteen 3-bedroom units and sixteen 4-bedroom units available between the four buildings.

STAFF ANALYSIS AND RECOMMENDATION

GENERAL PLAN CONFORMANCE

The property has a General Plan Land Use Designation of Commercial/Multi-Family Residential and a portion of the property is within the Major Community Core/ Downtown Core area. **(See attachment 3: General Plan Map)** Through the General Plan, the Town has identified six Community Cores and the types of land uses that support core areas. Cores should be a mixture of uses that enable pedestrian comfort, enhanced building appearances with street trees and other vegetation as aesthetic enhancements. The Cores should support housing choice as well as support local businesses while promoting future business expansion.

The Major Community/Downtown Core contains existing major retail, highway frontage, traffic signals, water/sewer access, and large vacant adjacent lands. One of the General Plan's Goals is to "Focus on Development of Community Cores and on Lifestyle Choices in Land Use."

Target Strategy 1 for that goal is to encourage new variety of residential and compatible development in Community Cores for sustainable lifestyle choices. Further, Target Strategy 2 is to protect existing residences in large lot neighborhoods as new lifestyle choices develop through buffering, separation, screening and other planning methods. The developer has proposed a 6' high CMU block wall along the southern property line and a 6' chain link fence with 16"x16" block pilasters every 40' along the west property line. In addition, the developer will far exceed the landscaping requirements and significant setbacks to help buffer the project from adjacent residences.

ZONING

The current development standards would allow the developer to build approximately 99 multi-family units on site. The applicant is requesting an increase to density cap with a PAD overlay. The project proposes 152 units, or 22 units per acre, an increase of 7.5 units per acre.

The MR-1 (Multi-Family Residential- 1 acre Minimum) Development Standards set forth by the UDO (Unified Development Ordinance) Section 3.13.D would allow the building to be as close as 20 feet from the front property line, 10 feet on the sides and 20 feet from the rear. However, based on the Site Plan, the following table displays the actual setback of the buildings from the property line as well as total lot coverage and building height. **(See attachment 6: Building Setbacks)**

Building Set Backs, Lot Coverage and Building Height						
Building	Front Yard Set Back	West Side-Yard Set Back	East Side-Yard Set Back	Rear Yard Set Back	Lot Coverage	* Building Height
1	20 ft.	44.5 ft.	165.6 ft.	481.3 ft.	5.0%	35'-0"
2	272.3 ft.	92.0 ft.	107.3 ft.	328.2 ft.	5.0%	35'-0"
3	417.3 ft.	92.7 ft.	108.8 ft.	183 ft.	5.0%	35'-0"
4	515.5 ft.	98.1 ft.	102.4 ft.	84.9 ft.	5.0%	35'-0"
TOTAL					20.1%	

*The vertical distance measured from the average grade level to the highest level of the roof surface of flat roofs, to the deck line of mansard roofs, or to the mean height between eaves and ridges for gable, gambrel, shed or hip roofs.

The buildings are setback much further than the required setbacks set forth by the development standards. Building 4, which is located closest to the highest density of residential use to the south is 84.9 feet from the property line. Along with keeping the building as far as possible from the south property line, the substantial amount of landscaping will mitigate the density of the project by serving as a buffer between the project and surrounding residents. In addition, the proposed wall to the south and fencing to the west.

FIRE APPARATUS ACCESS ROADS

Among the issues residents raised during the neighborhood meeting was the lack of a secondary emergency road for the project. Section D106.1 of the International Fire Code refers to fire apparatus access road for multiple-family residential development and states as followed:

“Projects having more than 100 dwelling units. Multiple-family residential projects having more than 100 dwelling units shall be equipped throughout with two separate and approved fire apparatus access roads.

Exception: *Projects having up to 200 dwelling units shall have not fewer than one approved fire apparatus access road where all buildings, including nonresidential occupancies, are equipped throughout with approved automatic sprinkler systems installed in accordance with Section 903.3.1.1 or 9.0.3.1.2”*

Based on the proposed unit count being below 200 units and the developer proposing the building be equipped with an approved automatic sprinkler system, the fire department has not requested a secondary emergency access.

TRAFFIC IMPACT

The proposed development will generate approximately 1011 average daily trips. What this means is that the development will generate 505.5 trips leaving the site and 505.5 trips arriving at the site on average each weekday. Weekend trips are typically lower for these types of land uses. It is important to note that a majority of those trips arriving or leaving will occur in the morning between 6 and 9 am, and between 3 and 7 pm to accommodate the trips generated for employment purposes.

If for instance 60-percent of the trips leaving the site occur in morning, this would equate to approximately 303 total trips over a three-hour period of time. Further simplified, this would be 101 trips per hour or a total of 1.7 trips per minute during the, “rush hour,” or peak time periods. It is staff’s opinion that the level of trip generation would be negligible to surrounding properties. However, it should be noted that as additional properties develop and add additional trip generation to Road 2 North future improvements to the street lights, intersection and infrastructure may be needed to accommodate the additional traffic.

STAFF RECOMMENDATION

Staff recommends that Planning and Zoning Commission forward a recommendation of approval to Town Council to adopt Ordinance 2019-873 rezoning approximately 6.85 acres of real property from the MR-1 (Multi-Family Residential - 1 acre minimum) zoning district to the MR-1 PAD (Multi-Family Residential - 1 acre minimum) zoning district with a Planned Area Development Overlay with its associated development plan with the following conditions:

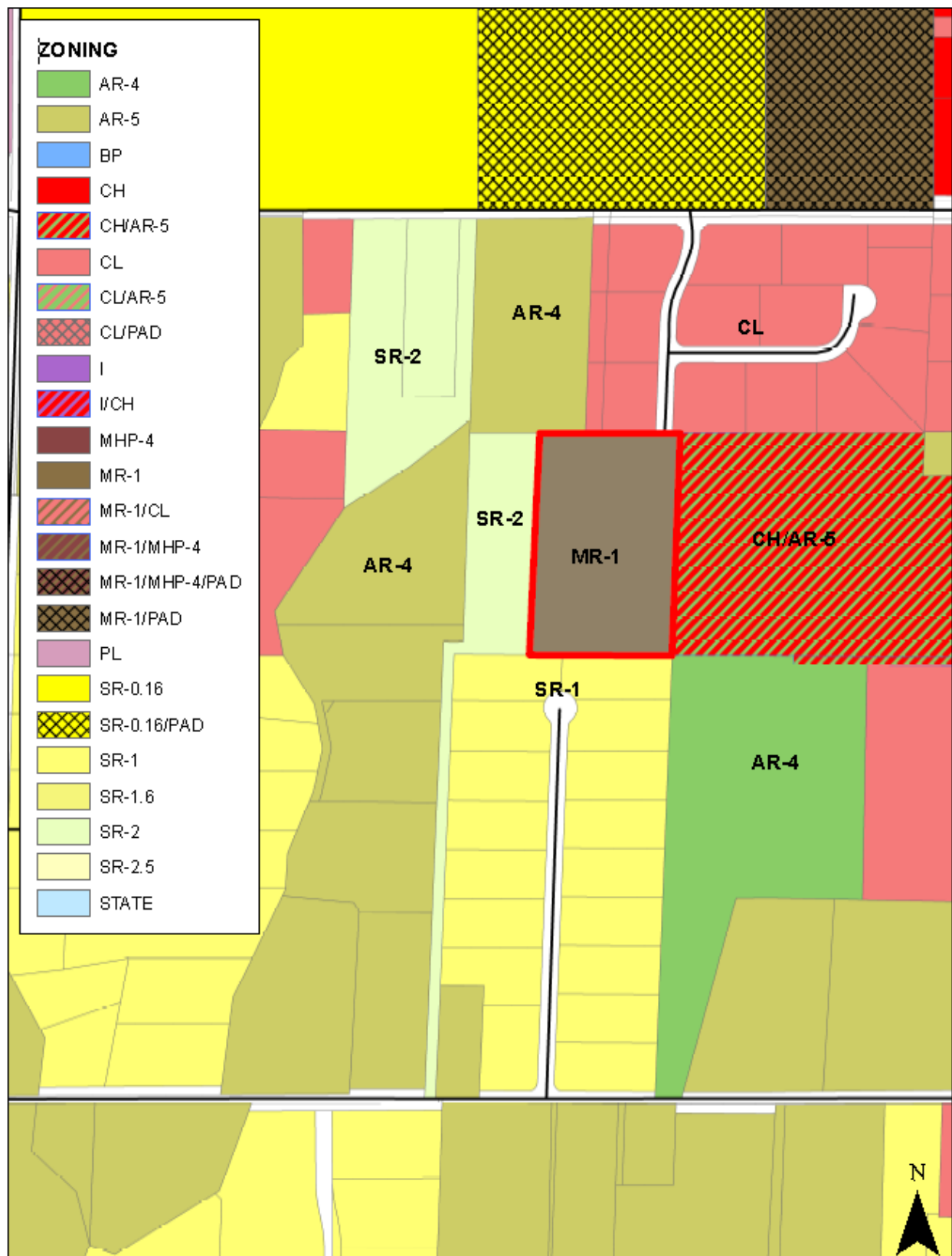
1. The project shall substantially conform to the site plan, landscaping plan, conceptual building elevations and other exhibits provided by the applicant, as modified by staff's recommended conditions.
2. Developer shall provide a 6' high CMU block wall along the south property line and a 6' chain link fence with 16"x16" block pilasters every 40' along the west property line.
3. Depths of flows over onsite and offsite streets shall not exceed one (1) foot to allow passage of emergency vehicles. The standard applies to both public and private streets.
4. All drainage ways that convey 50 cubic feet per second or more, during the 100-year flood event, shall be considered a regulatory flood and shall be dedicated to the public with provisions for maintenance access ramps. Flows less than 50 cubic feet per second shall be regulated for impacts to buildings and structures, particularly, the placement of the finished first floor or basement, and shall be designated a common area or noted on the final plat as impacting a lot and the lot owner's responsibility for maintenance. Any drainage ways dedicated to the Town shall be constructed to provide minimal need for maintenance (paved or storm drain pipe) unless the property owner accepts landscape maintenance of the tract.
5. Five foot (5') concrete pedestrian sidewalks (onsite and offsite) shall be required.
6. Hawks Nest Trail shall be constructed to commercial standards (28' roadway width, concrete curb and gutter, and five foot (5') concrete sidewalk on both sides with associated ramps and other devices). Final design to be approved by the Town Engineer.
7. Intersection improvements at Rd 2 North in accordance with the revised traffic study shall be required. Final design to be approved by the Town Engineer.
8. Water and sewer mains on Rd 2 North shall be 12" diameter. The Town would be open to cost sharing for the up-sizing of the pipelines, pending Council approval.

ATTACHMENTS

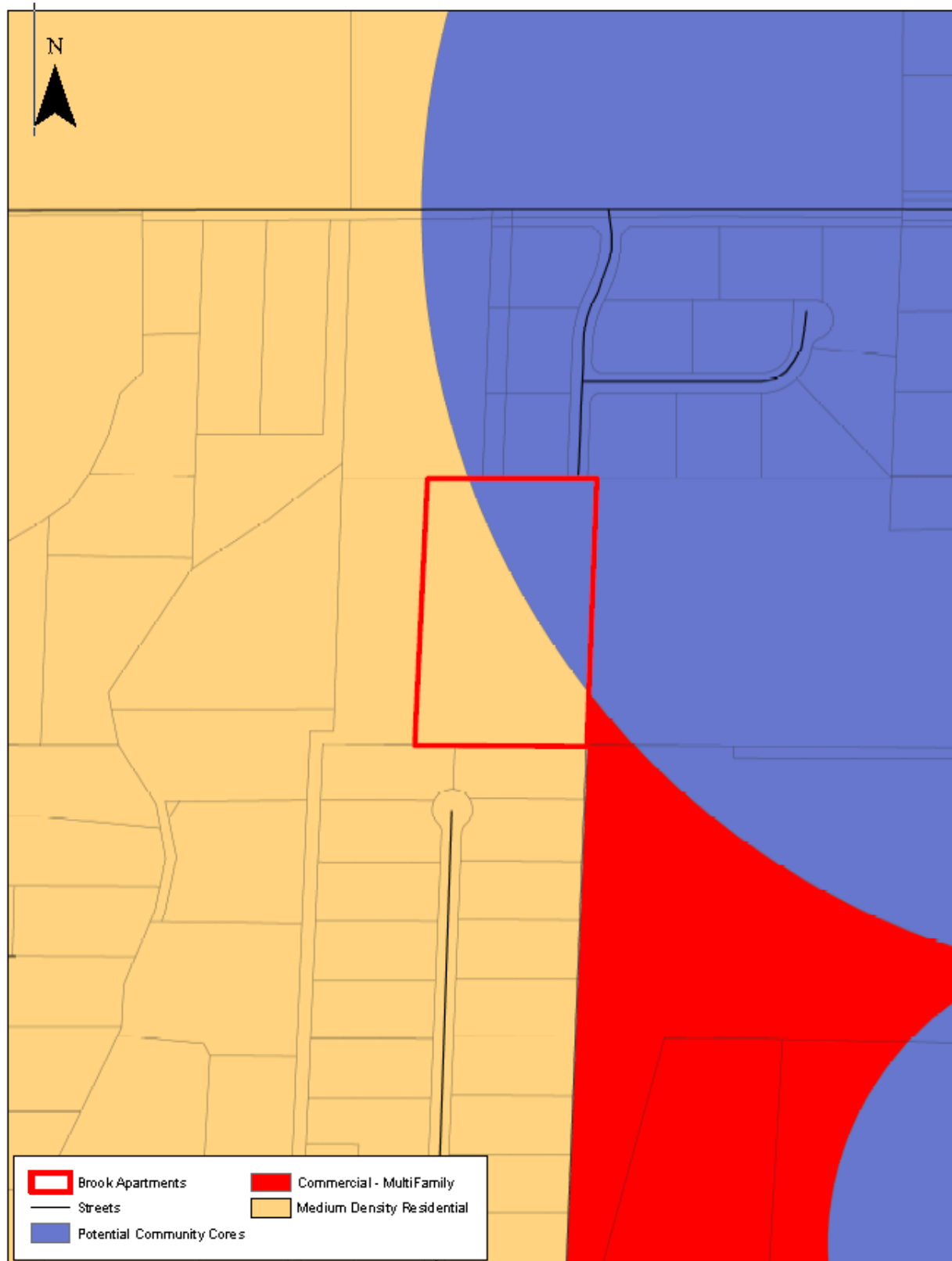
VICINITY MAP



ZONING MAP



GENERAL PLAN LAND USE MAP



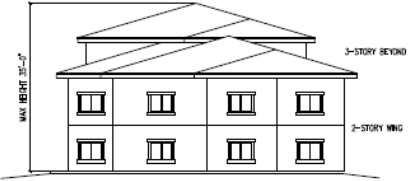
LANDSCAPING PLAN

[illegible]

EXTERIOR TRIM SPECIFICATIONS	ROOF FINISH SPECIFICATIONS	SHEET METAL SPECIFICATIONS	EXTERIOR PAINT SPECIFICATIONS																
TRIM LIST TRIM EDGE - PRE-FINISHED METAL, COLOR BY OWNER ROOF FLASHING - 200 HANDED BOND FLASHING FINISHED UNDER 200 DOW-PROOF DOWNSPOUTS - PRE-FINISHED METAL FLANGE, COLOR ALL UNITS TOP EXTERIOR CORNER TRIM - 20000 OVER FELD-ROUNDER METE LAM ON 1/2 FORMING 1/2" O.C. PERPENDICULAR TO TRIMMED CORNER, A DOWNSPOUT CORNER TO CORNER, 20000 1/2" X 1/2" WINDOWN A CORNER POPOUTS A HORIZONTAL DOWNS - SAND FINISH TRIMMED MAIN BODY - 20000/ SAND FINISH	ROOF FINISH 1200-SPRINKLED ARCHITECTURAL SHINGLES OVER FELT (40 PER NHTS SPEED) ON 5/8" GVL SHINGLES TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS. COLOR TO BE SELECTED BY OWNER. PROVIDE TRIM FLASHING AT ROOF TO WALL INTERFACES AS PER SHINGLE MANUFACTURER'S INSTALLATION GUIDE. UNDERLAY - AS PER MANUFACTURER'S RECOMMENDATION FLASH SHIELD - INITIAL AT ALL ENDS, SEE DETAIL SHEET 402	NOTE PAINT APPLICATION: APPLY PRIME COAT, FILL HOLE AND SAND, APPLY CHALKING AND 1 PRIMER COAT. ALL PAINT TO BE APPLIED LATER, UNLESS NOTED OTHERWISE. UNFINISHED METAL - 1 COAT PRIMER, 2 COATS PRIMER OR SHIMMER PRIMER, 2 COAT CHALKING WITH PRIMER OR UNFINISHED SURFACES. APPLY 2 PRIMER COATS OF PRIMER PAINT TO ALL FINISHED EXTERIOR METAL. FACTORY FINISHED METAL 2 COATS AUTO CHALK. UNFINISHED METAL SURFACES TO BE CHALKED PRIMER OR 2 COATS CHALKING AND 1 PRIMER COAT TO PRIMER AND FINISHING.	PAIN SPECIFICATIONS <table><thead><tr><th>USE</th><th>MANUFACTURE</th><th>COLOR</th><th>APPLICATION</th></tr></thead><tbody><tr><td>SHEDS</td><td>SHEDS-METAL, OR CORN</td><td>BY ARCHITECT</td><td>1 - PRIME COAT, 1 - FINISH COAT (PRAT)</td></tr><tr><td>TRIM</td><td>SHEDS-METAL, OR CORN</td><td>BY ARCHITECT</td><td>1 - PRIME COAT, 1 - FINISH COAT (PRAT)</td></tr><tr><td>DOORS</td><td>SHEDS-METAL, OR CORN</td><td>BY ARCHITECT</td><td>1 - PRIME COAT, 1 - FINISH COAT (PRAT-CLASH) # PRE-FINISHED 1 - PRIME COAT ONLY</td></tr></tbody></table> NOTE PAINT APPLICATION: APPLY PRIME COAT, FILL HOLE AND SAND, APPLY CHALKING AND 1 PRIMER COAT. ALL PAINT TO BE APPLIED LATER. NOTE PRE-FINISHED MATERIAL TO HAVE 1 PRIMER COAT.	USE	MANUFACTURE	COLOR	APPLICATION	SHEDS	SHEDS-METAL, OR CORN	BY ARCHITECT	1 - PRIME COAT, 1 - FINISH COAT (PRAT)	TRIM	SHEDS-METAL, OR CORN	BY ARCHITECT	1 - PRIME COAT, 1 - FINISH COAT (PRAT)	DOORS	SHEDS-METAL, OR CORN	BY ARCHITECT	1 - PRIME COAT, 1 - FINISH COAT (PRAT-CLASH) # PRE-FINISHED 1 - PRIME COAT ONLY
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SHEDS	SHEDS-METAL, OR CORN	BY ARCHITECT	1 - PRIME COAT, 1 - FINISH COAT (PRAT)																
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DOORS	SHEDS-METAL, OR CORN	BY ARCHITECT	1 - PRIME COAT, 1 - FINISH COAT (PRAT-CLASH) # PRE-FINISHED 1 - PRIME COAT ONLY																
EXTERIOR FINISH SPECIFICATIONS	EXTERIOR CAULKING & SEALANT SPECS.																		
GENERAL EXTERIOR MODERN ONE-COAT GLOSSY STUCCO CONTROL Joints AS SHOWN ON TYPICAL EXTERIOR SECTIONS	1. APPLY CAULKING AROUND ALL WINDOWS, DOORS & OTHER FINISHED OPENINGS. COLOR # ALL EXTERIOR WHITE TRIM Joints & SCALP 2. EXTERIOR SEALANT TO BE TIGHTER OR EQUAL 3. PROVIDE SEALANT UNDER ROOF COMPARTMENT FOR OTHER POLYETHYLENE PLUM AS REQUIRED.																		



FRONT EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



SIDE EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"

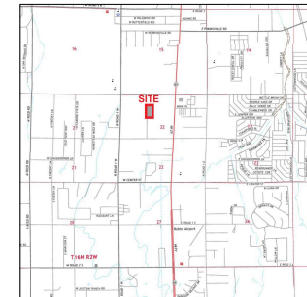
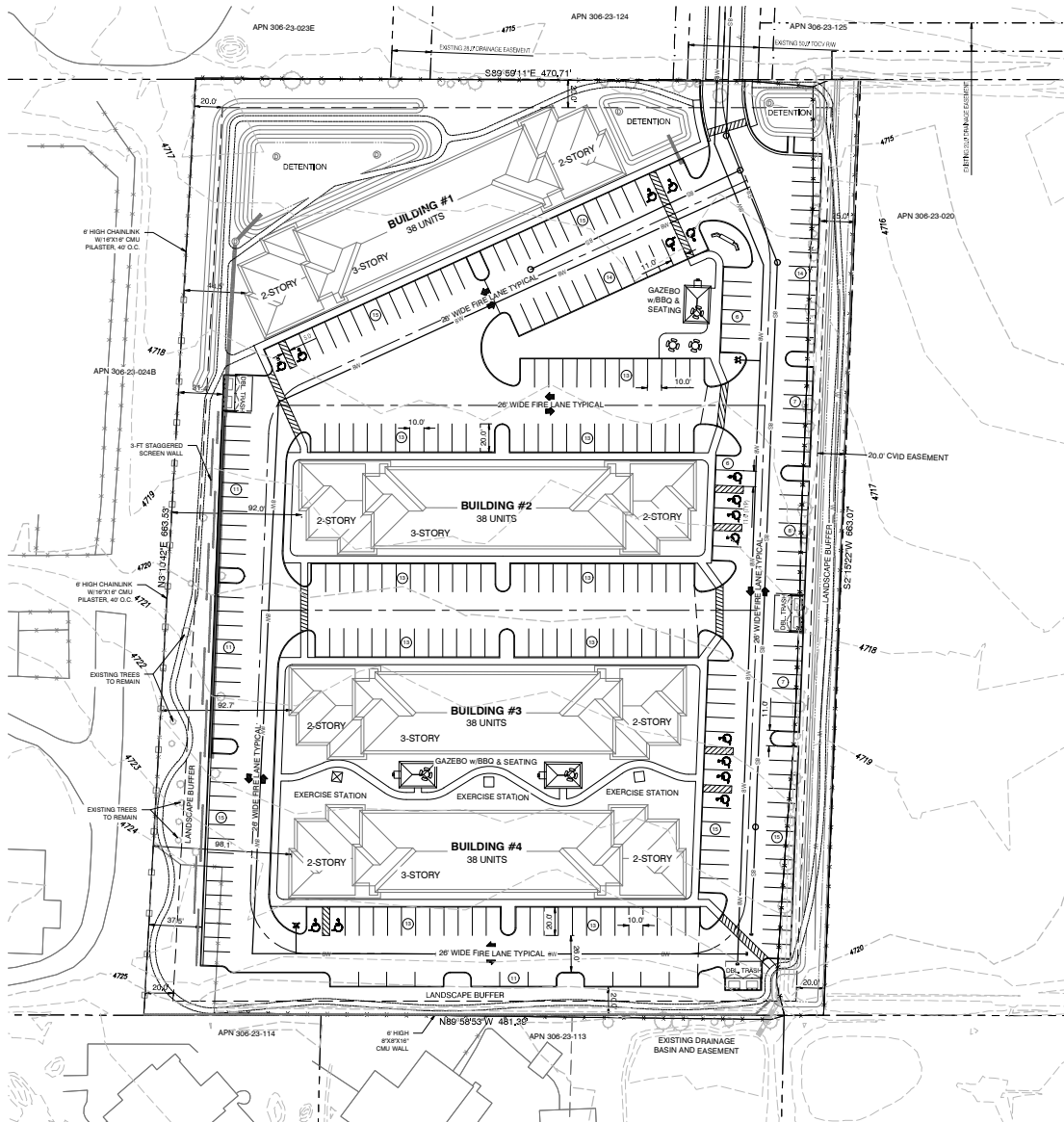
PERNS AND ASSOCIATES, INC.
3333 E. LUDLOW DR.
DENVER, CO 80231
(303) 279-1031 FAX (303) 264-2323

BROOK APARTMENTS
PRL7-00024
APN: 306-23-024C

EXTERIOR ELEVATION
PROJECT: **JUNE 26, 2019**
DATE: **JUNE 26, 2019**
SHEET:

ELEVATION PLAN

SITE PLAN



VICINITY MAP
(R18)

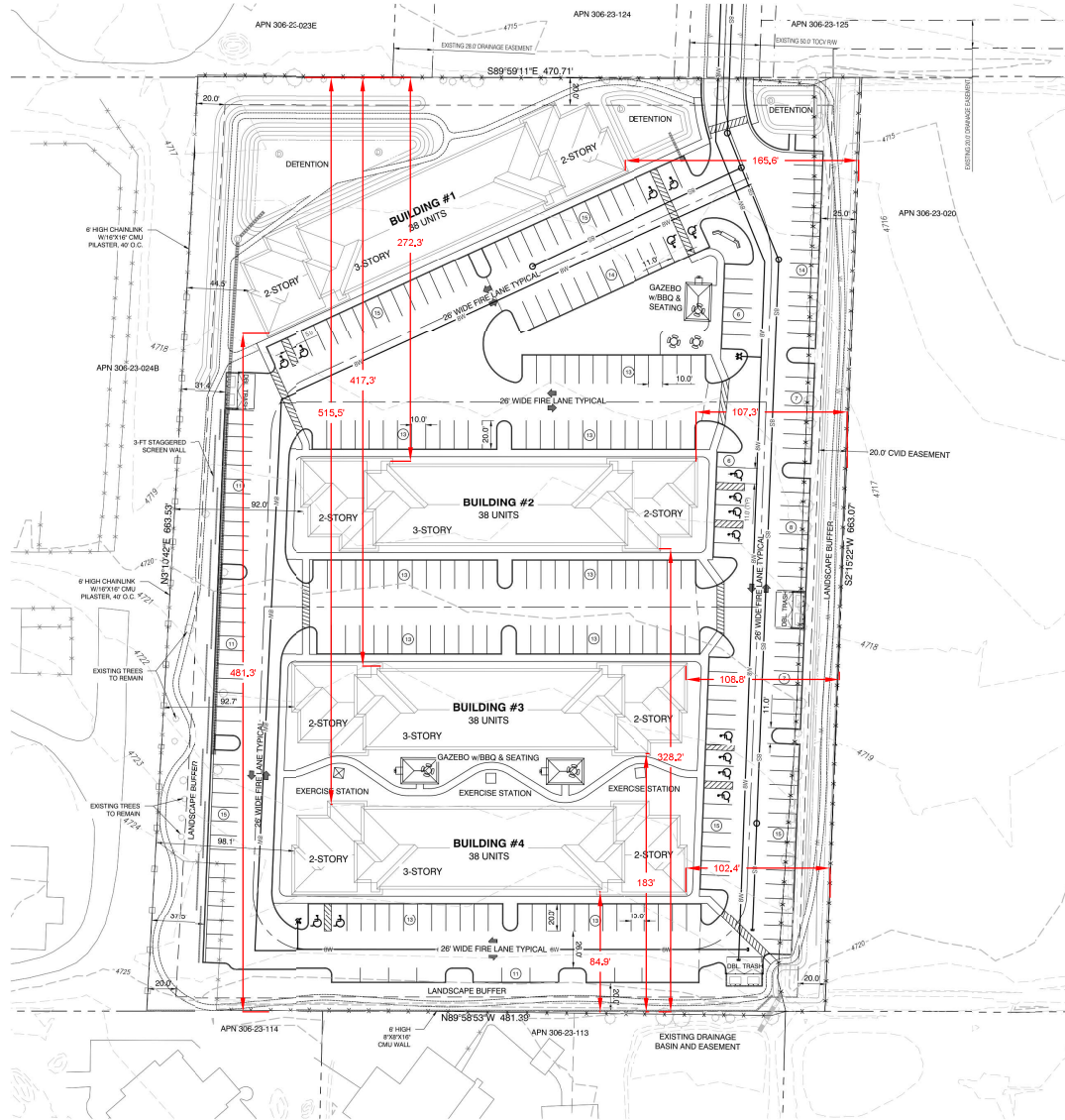


SCALE: 1" = 40'
40' 20' 0' 40'

PROJECT DATA

PROJECT NAME:	BROOK APARTMENTS PR17-000024; APN: 306-23-024C
PROJECT ADDRESSES:	CHINO VALLEY, AZ
SITE AREA:	6.85 ACRES / 298,386 SF
BUILDING AREA:	BUILDING 14,998 SF EA x 4 = 59,992 SF
LOT COVERAGE:	20.1%
OPEN SPACE:	79.9%
ACTIVE OPEN SPACE:	33%
FLOOR AREA:	159,884 SF
PROPOSED PROJECT DESCRIPTION:	NEW CONSTRUCTION FOR A 152 UNIT 1 - 4 BEDROOM MULTI FAMILY APARTMENT COMPLEX
ARCHITECT:	FERGIS AND ASSOCIATES, INC. 7227 N. 16TH ST. #212 PHOENIX, AZ 85020 (602) 279-1693 FAX (602) 284-2383
ZONING:	MR-1, PAD
UNIT MIX:	BUILDING #1-4 38 UNITS 3-STORY 1-BED: 9 2-BED: 21 3-BED: 4 4-BED: 4
PARKING REQUIRED/ PROVIDED:	TOTAL: 4-BED: 16, 3-BED: 16, 2-BED: 84, 1-BED: 36 = 152 UNITS 1.5 SPACES PER 1 & 2 BED UNIT 120 X 1.5 = 180 SPACES REQUIRED 2.0 SPACES PER 3+ BED UNIT 32 X 2.0 = 64 SPACES REQUIRED 1 PER 10 UNITS GUEST PARKING = 16 SPACES REQUIRED TOTAL SPACES REQUIRED = 180+64 + 16 = 260 TOTAL SPACE PROVIDED = 297 TYPICAL STANDARD PARKING STALL 20'-0" X 10'-0" TYPICAL ADA PARKING STALL 20'-0" X 11'-0" W/ 5' ISLE 5 ADA STALLS PER 51-75 SPACES, 1 ADA STALL FOR EACH 25 SPACE THEREAFTER. (INCLUDED IN COUNT)

SITE PLAN



VICINITY MAP
(MRL)



SCALE: 1" = 40'

PROJECT DATA

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FOR
REVIEW
NOT FOR
CONSTRUCTION

MRL CONSULTING, LLC

P.O. BOX 642
CHINO VALLEY, AZ 86323

928.925.7543
MICHAELLOPEZ.PE@GMAIL.COM

REVISIONS

REV DATE

PLANNED AREA DEVELOPMENT

BROOK APARTMENTS
PR17-000024
APN: 306-23-024C

DATE: 7/25/2019

DRAWN BY: DBS

CHECKED BY: MRL

SCALE: 1" = 40'

SHEET

1

1 OF 2

EXTERIOR TRIM SPECIFICATIONS

TRIM LIST
 DRIP EDGE - PRE-PAINTED METAL, COLOR BY OWNER
 WOOD FASDA - 1X10 HARDIE BOARD FASDA PAINTED OVER 2X8 SUB-FASDA
 OVERHANGS - PRE-PRIMED HARDIE PLANK, CAULK ALL JOINTS.
 TYP. EXTERIOR CEILING NOTE - STUCCO OVER FELT-BACKED WIRE LATH ON 1x3 FURRING @ 16" O.C.
 PERPENDICULAR TO TRUSSES, CONTROL & EXPANSION JOINTS TO CODE, DETAILS SHEET A/10.1
 WINDOW & DOOR POPOUTS & HORIZONTAL BANDS - SAND FINISH STUCCO
 MAIN BODY - STUCCO/ SAND FINISH

EXTERIOR FINISH SPECIFICATIONS

STUCCO SYSTEM
 WESTERN ONE-COAT CEMENT STUCCO
 CONTROL JOINTS AS SHOWN ON TYPICAL EXTERIOR ELEVATIONS

ROOF FINISH SPECIFICATIONS

ROOF SHINGLES
 K20-APPROVED ARCHITECTURAL SHINGLES OVER FELT (AS PER MFR'S SPECS.) ON 5/8" CDX.
 SHINGLES TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS. COLOR TO BE
 SELECTED BY OWNER. PROVIDE STEP FLASHING AT ROOF TO WALL INTERFACES AS PER SHINGLE
 MFR SPECIFICATIONS &/OR BUILDING CODE.
UNDERLAY - AS PER MANUFACTURER'S SPECIFICATIONS
FROST SHIELD - INSTALL AT ALL EYES, SEE DETAIL SHEET A2.2

EXTERIOR CAULKING & SEALANT SPECS.

1. APPLY CAULKING AROUND ALL WINDOWS, DOORS & OTHER FRAMED OPENINGS. CAULK @ ALL EXTERIOR WOOD TRIM JOINTS & SEAMS.
2. EXTERIOR SEALANT TO BE TREMCO OR EQUAL.
3. PROVIDE SEALANT BACKER ROD OF COMPRESSIBLE ROD STOCK POLYETHYLENE FOAM AS REQUIRED.

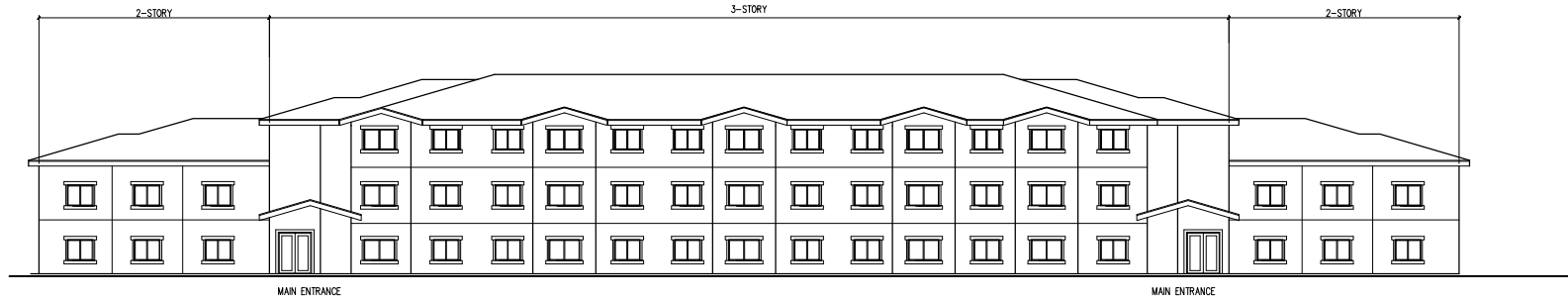
SHEET METAL SPECIFICATIONS

NOTE: PAINT APPLICATION: APPLY PRIME COAT, FILL NAIL HOLES AND SAND, APPLY CAULKING & 1 FINISH COAT.
 ALL PAINT TO BE ACRYLIC LATEX, UNLESS NOTED OTHERWISE. UNFINISHED METALS - 1 COAT RUST INHIBITIVE PRIMER OR
 UNPRIMED STEEL OR 1 COAT GALVANIZED METAL PRIMER ON GALVANIZED SURFACES. APPLY 2 FINISH COATS OF HOUSE
 PAINT TO ALL FINISHED EXTERIOR METALS. FACTORY PRIME METAL 2 COATS ALKO ENAMEL. GALVANIZED METAL SURFACES
 TO BE CLEANED FREE OF OILY MATERIALS AND DERRIS PRIOR TO PRIMING AND PAINTING.

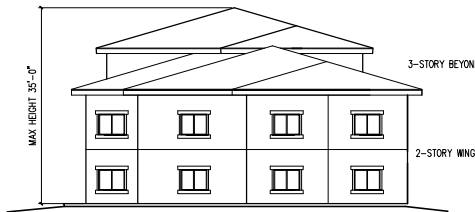
EXTERIOR PAINT SPECIFICATIONS

USE	MANUFACTURER	COLOR	APPLICATION
STUCCO	SHERWIN-WILLIAMS, OR DUNN EDWARDS	BY ARCHITECT	1 - PRIME COAT, 1 - FINISH COAT (FLAT)
TRIM	SHERWIN-WILLIAMS, OR DUNN EDWARDS	BY ARCHITECT	1 - PRIME COAT, 1 - FINISH COAT (FLAT)
DOORS	SHERWIN-WILLIAMS, OR DUNN EDWARDS	BY ARCHITECT	1 - PRIME COAT, 1 - FINISH COAT (SEMI-GLOSS) IF PRE-PRIMED, 1 - FINISH COAT ONLY

NOTE: PAINT APPLICATION: APPLY PRIME COAT, FILL NAIL HOLES AND SAND, APPLY CAULKING AND 1 FINISH COAT. ALL
 PAINT TO BE ACRYLIC LATEX.
NOTE: PRE-PRIMED MATERIAL TO HAVE 2 FINISH COATS.



FRONT EXTERIOR ELEVATION
 SCALE: 1/16" = 1'-0"



SIDE EXTERIOR ELEVATION
 SCALE: 1/16" = 1'-0"

FERGIS AND ASSOCIATES, INC.
 4332 E LUDLOW DR.
 PHOENIX, AZ 85032
 (602) 279-1633 FAX (602) 264-2383

BROOK APARTMENTS
 PRL7-000024
 APN: 306-23-024C

COPYRIGHT 2018
 REVISIONS:

TITLE: EXTERIOR ELEVATION
 PROJECT:
 DATE: JUNE 26, 2019

SHEET:

Plant Schedule

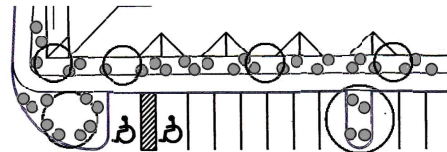
SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE
Shade Trees – Total Quantity = 58 Mixed Sizes 15 Gallon (25%) 24" Box (75%)				
	Acer x fremonii	Autumn Blaze Maple	15 Gal & 24" Box	
	Fraxinus angustifolia 'Raywood'	Raywood Ash	15 Gal & 24" Box	
	Fraxinus velutina	Arizona Ash	15 Gal & 24" Box	
	Pistacia chinensis	Chinese Pistache	15 Gal & 24" Box	
	Salix matsudana 'Navajo'	Navajo Willow	15 Gal & 24" Box	
Flowering Trees – Total Quantity = 46 20 Gallon (minimum size)				
	Cercis reniformis 'Oklahoma'	Oklahoma Redbud	15 Gallon	
	Chilopsis linearis 'Burgundy'	Burgundy Desert Willow	15 Gallon	
	Chitalpa x tashkentensis 'Pink Dawn'	Pink Dawn Chitalpa	15 Gallon	
	Prunus cerasifera 'Krauter Vesuvius'	Purpleleaf Plum	15 Gallon	
	Pyrus calleryana 'Chanticleer'	Flowering Pear	15 Gallon	
Large Evergreen Trees – Total Quantity = 78 24" Box or 20 Gallon along West and South Property Lines				
	Cedrus deodara	Deodar Cedar	24" Box	
	Cupressus arizonica 'Blue Ice'	Arizona Cypress	24" Box	
	Pinus nigra 'Oregon Green'	Oregon Green Pine	24" Box	
Small and Mid-Size Evergreen Trees – Total Qty = 51 Mixed Sizes 15 Gallon (25%) 24" Box (75%)				
	Juniperus chinensis 'Spartan'	Spartan Juniper	15 Gal & 24" Box	
	Juniperus scopulorum 'Wichita Blue'	Wichita Blue Juniper	15 Gal & 24" Box	
Shrubs / Grasses / Accents – Total Qty = 740+ 5 Gallon (minimum size)				
	Buddleia davidii	Butterfly Bush	5 Gallon	
	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	5 Gallon	
	Cotoneaster parneyi	Parney's Cotoneaster	5 Gallon	
	Hesperloe parviflora	Red Yucca	5 Gallon	
	Juniperus chinensis pfitzeriana 'Sea Green'	Sea Green Juniper	5 Gallon	
	Muhlenbergii capillaris 'Regal Mist'	Regal Mist	5 Gallon	
	Nandina domestica	Heavenly Bamboo	5 Gallon	
	Perovskia atriplicifolia 'Blue Spires'	Russian Sage	5 Gallon	
	Photinia fraseri	Red Tip Photinia	5 Gallon	
	Potentilla fruticosa	Potentilla	5 Gallon	
	Raphiolepis indica	Indian Hawthorn	5 Gallon	

Note: All disturbed areas to be covered with 3/4" decorative stone 2" minimum depth on 3,5 ounce spun landscape fabric. Root leaders to be lined with 2" wide 50/50 mixture of 1'-3" and 3'-6" Salt River Rock on 3,5 ounce spun landscape fabric.

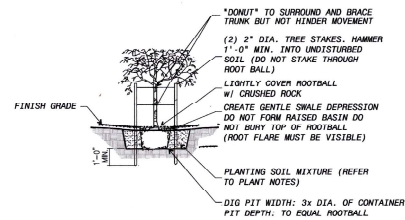
Landscape Requirements

(As per Section 4.26 of the Town of Chino Valley Unified Development Code)

QUANTITY REQUIREMENTS AS PER UDO	REQUIRED QUANTITIES	ACTUAL QUANTITIES PROVIDED ON LANDSCAPE PLAN
1 Tree per 20 Linear Ft. of Landscape Buffer (Landscape Buffer = 2278.7 LF)	114	233
4 Shrubs per 400 Sq. Ft. of Landscape Buffer (Landscape Buffer = 2278.7 LF x 20' Wide = 45,574 SF)	114	740+
SIZE REQUIREMENTS	ACTUAL SIZES PROVIDED ON LANDSCAPE PLAN	
Trees 75% = 15 Gallon 25% = 24" Box or Larger	Trees 25% = 15 Gallon 75% = 24" Box and 20 Gallon	
Shrubs 5 Gallon or Larger	Shrubs 100% = 5 Gallon	

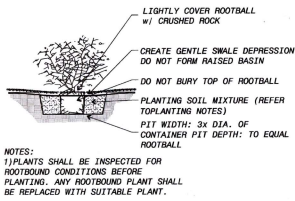


1 Typical Foundation & Island Planting
1"=20'

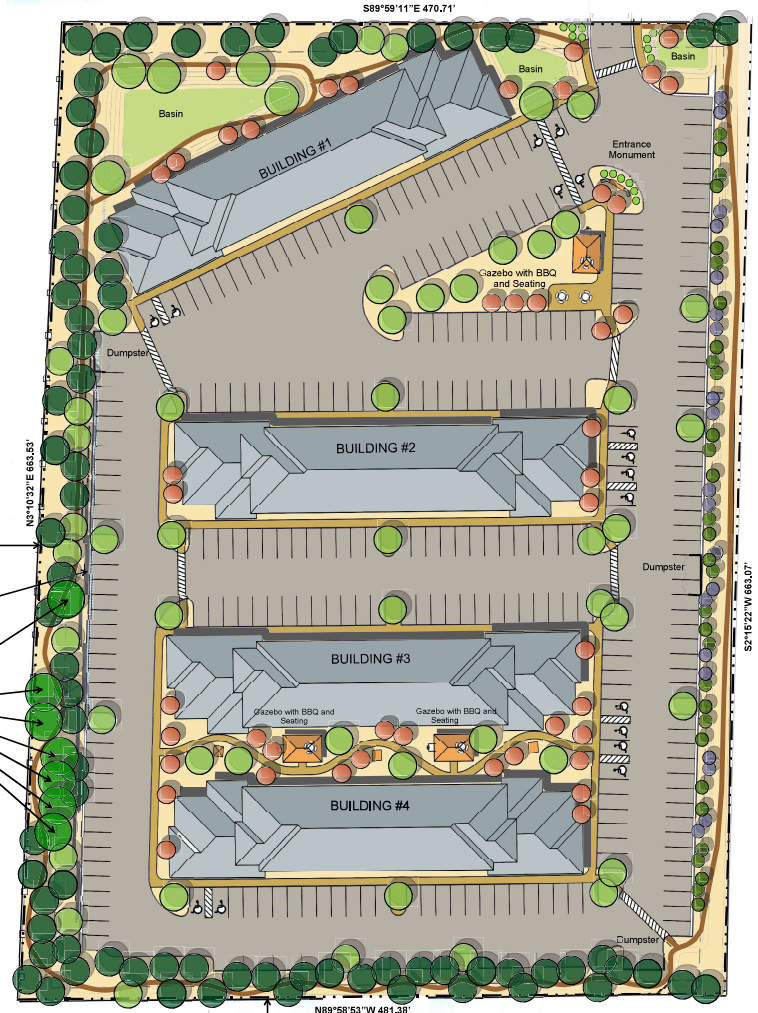


NOTES:
1) PLANTS SHALL BE INSPECTED FOR ROOTBOUND CONDITIONS BEFORE PLANTING. ANY ROOTBOUND PLANT SHALL BE REPLACED WITH SUIABLE PLANT.
2) TREE STAKES TO BE PLACED ON THE NW AND SE SIDES OF PLANTS DUE TO WIND PATTERNS.
3) TREE STAKES W/ DUAL STRAND #10 GALVANIZED WIRE THROUGH RUBBER HOSE "DONUT". TIE ABOVE FIRST SCAFFOLD BRANCH AT MID-POINT.

2 Tree Planting
NTS



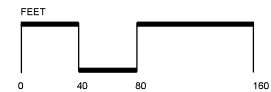
3 Shrub Planting
NTS



VICINITY MAP

Preliminary Landscape Plan

1" = 40'



Peter Bourgois, LEED AP
Landscape Architect
AZ #94530
2015 Rocky Della Drive
Prescott, AZ 86303
Tel: 928-713-6068

PAD Application
July 29, 2019

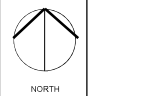
Revision Schedule		
No.	Description	Date

Brook
Apartments
Chino Valley, AZ
APN 306-23-024C

OWNER

Brook Assisted Living, LLC
1620 Willow Creek Road
Prescott, AZ 86301

Preliminary Landscape
Plan

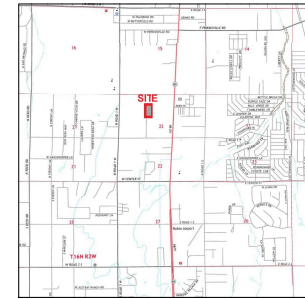


PROJECT#

DRAWN
PDB

CHECKED
L210

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VICINITY MAP

(NTS)

APN # 306-23-024C
6.85 ACRES

LEGEND

-
- PROPERTY LINE
RIGHT-OF-WAY
CENTERLINE
EASEMENT
SETBACK
FLOWLINE
MAJOR CONTOUR LINE
MINOR CONTOUR LINE
EXIST MAJOR CONTOUR LINE
EXIST MINOR CONTOUR LINE
SEWER SERVICE LINE
WATER SERVICE LINE
UNDERGROUND POWER
RETAINING WALL

EXISTING

- | | | | |
|-------------------|------------------|-------------------|------------------|
| (00.00)
EG | EXISTING GROUND | (00.00)
FG | FINISH GRADE |
| (00.00)
EP | EDGE OF PAVEMENT | (00.00)
EP | EDGE OF PAVEMENT |
| | | (00.00)
FL | FLOW LINE |
| | | (00.00)
TF | TOP OF FOOTER |
| | | (00.00)
TW | TOP OF WALL |
| | | (50.70)
HP | HIGH POINT |
| | | (00.00)
LP | LOW POINT |



SCALE: 1" = 40'



FOR
REVIEW
NOT FOR
CONSTRUCTION

MRL CONSULTING, LLC
P.O. BOX 642
CHINO VALLEY, AZ 86323
928.925.7543
MICHAEL.LOPEZ.PE@GMAIL.COM

REVISIONS

REV	DATE
-----	------

CONCEPTUAL GRADING PLAN

ROOK APARTMENTS
PR17-000024
APN: 306-23-024C

DATE: 7/25/2019

DRAWN BY: DBS

CHECKED BY: MRL

SCALE: $1'' = 40'$

SHEET

2

2 OF 2





A photograph of a modern apartment complex sign. The sign is a large, dark brown rectangular wall with a flat top. On the wall, the word "Brook" is written in a large, elegant, silver-colored script font. Below it, the word "apartments" is written in a smaller, black, sans-serif font. The sign is surrounded by landscaping, including several large, light-colored boulders, green shrubs, and clusters of yellow, purple, and orange flowers. In the background, there are trees with green foliage and red flowers, and a blue sky with white clouds.

Brook
apartments

COLOR KEY
BROOK APARTMENTS



DUNN EDWARDS
DE6075 WOOD LAKE
MAIN STUCCO



DUNN EDWARDS
DE6049 CHAPS
ACCENT COLOR 1



DUNN EDWARDS
DEA156 CHERRY COLA
ACCENT COLOR 2